

Home Inspection Report



555 Wind Way, Fake City , OR 54645

Inspection Date:

Monday May 12, 2014

Prepared For:

John Doe

Prepared By:

House to Home
3468 N. Bartlett Ave
Milwaukee, WI 53211
262-754-5973
christopher@ahit.com

Report Number:

14-0512

Inspector:

Christopher Chirafisi

Receipt/Invoice

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3468 N. Bartlett Ave
Milwaukee, WI 53211

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Inspection Number: 14-0512

Inspected By: Christopher Chirafisi

Client: John Doe

Inspection	Fee
Inspection Fee	\$350.00
Total	\$350.00

☒ Check: ☐ Cash ☐ Credit Card

Report Overview

THE HOUSE IN PERSPECTIVE

Typical Construction

CONVENTIONS USED IN THIS REPORT

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but may show signs of normal wear and tear and deterioration.

MARGINAL - Indicates the component will probably require repair or replacement anytime within five years.

POOR - Indicates the component will need repair or replacement now or in the very near future.

MAJOR CONCERNS - A system or component that is considered significantly deficient or is unsafe.

SAFETY HAZARD - Denotes a condition that is unsafe and in need of prompt attention.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the WI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection. Visual Inspection Only

BUILDING DATA

Approximate Age: 77 Years

Style: Single Family

Main Entrance Faces: South

State of Occupancy: Vacant

Weather Conditions: Rain

Recent Rain: Yes

Ground Cover: Wet

Report Summary

Items Not Operating

Light on exterior or home and bathroom exhaust fan

Major Concerns

Item(s) that have failed or have potential of failing soon.

None apparent

Potential Safety Hazards

Walkway had some cracking and settlement, should be repaired and/or replaced as needed. Safety Cable Recommended on garage door springs. Exposed wires on exterior and in attic.

Deferred Cost Items

Items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years.

None apparent

Improvement Items

Grading

Items to Monitor

Crack in foundation and roofing cement on chimney

Grounds

Service Walks

Material ☒ Concrete
Condition ☒ Marginal ☒ Trip hazard
Comments Walkway had some cracking and settlement, should be repaired and/or replaced as needed. Potential tripping hazard

Driveway/Parking

Material ☒ Concrete
Condition ☒ Satisfactory ☒ Typical cracks

Porch

Condition ☒ Marginal
Support Pier ☒ Wood
Floor ☒ Satisfactory
Comments Porch posts had some damaged wood and was in need of repair and/or replacement. Support pier is not properly supported, repair as necessary.

Stoops/Steps

Material ☒ Concrete
Condition ☒ Satisfactory ☒ Settled

Landscaping affecting foundation

Negative Grade ☒ West ☒ North ☒ Recommend window wells/covers
Comments Metal window wells were rusted recommend repairing/replacing as needed

Hose bibs

Condition ☒ Satisfactory ☒ No anti-siphon valve ☒ Recommend Anti-siphon valve
Operable ☒ Yes

Grounds Photos



Rusting of window wells repair/replace as needed



Wood rot on support pier on front porch recommend replacing damaged wood.

Roof

Roof Visibility

☒ All

Inspected From

☒ Ladder at eaves

Comments

Roof inspection was limited to inspecting from the eaves due to roof pitch.

Style of Roof

Type ☒ Gable

Pitch ☒ Steep

Roof #1 Type: Asphalt Layers: 2 Age: Unknown

Ventilation System

Type ☒ Gable ☒ Roof

Comments

Recommend additional ventilation as an improvement to help prolong the life of the roof.

Flashing

Material ☒ Galv/Alum

Condition ☒ Not Visible ☒ Marginal ☒ Rusted ☒ Recommend Sealing

Comments

Flashings are not visible around chimney covered with roofing cement so not visible recommend monitoring for leaks. Recommend flashing above front porch where wall meets roof to prevent any water penetration into home.

Condition of Roof Coverings

Roof #1 ☒ Satisfactory

Condition ☒ Granules missing

Comments

Roof was showing normal wear, but was in overall adequate condition.

Plumbing Vents

Condition ☒ Satisfactory

Roof Photos



Missing wall to roof flashing recommend installing one to prevent water penetration into home.



Damaged screen on roof vent recommend replacing screen to prevent pests from entering attic



Chimney flashing covered with roofing cement not visible.

Exterior

Chimney(s)

Location(s): West
Viewed From ☒ Ladder at eaves
Rain Cap/Spark Arrestor ☒ Yes
Chase ☒ Brick
Evidence of ☒ Cracked chimney cap
Flue ☒ Tile
Evidence of ☒ Not evaluated
Condition ☒ Satisfactory ☒ Recommend Repair
Comments Small crack on chimney crown recommend minor tuckpointing

Gutters

Condition ☒ Satisfactory
Material ☒ Galvanized/Aluminum
Extension needed ☒ South
Comments Maintain downspout discharge away from the house.

Siding

Material ☒ Wood ☒ Peeling paint
Condition ☒ Satisfactory ☒ Recommend repair/painting
Comments Siding was showing some wear, but still in functional condition. Siding was in need of normal painting / staining maintenance.

Trim

Material ☒ Wood ☒ Recommend repair/painting ☒ Damaged wood
Condition ☒ Marginal
Comments Trim had some deterioration and is in need minor repairs and painting.

Soffit

Material ☒ Wood ☒ Recommend repair/painting ☒ Damaged wood
Condition ☒ Marginal
Comments Small portion of soffits has wood rot recommend replacing damaged wood.

Fascia

Material ☒ Wood
Condition ☒ Satisfactory

Caulking

Condition ☒ Marginal ☒ Recommend around windows/doors/masonry ledges/corners/utility penetrations

Windows/Screens

Condition ☒ Satisfactory ☒ Wood rot ☒ Recommend repair/painting
Material ☒ Wood ☒ Aluminum/Vinyl clad
Comments Cracked window on basement window (East and West) as well as attic window repair as needed.

Storms Windows

Condition ☒ Satisfactory ☒ Wood rot ☒ Recommend repair/painting
Material ☒ Wood ☒ Metal
Putty ☒ Needed
Comments Frame rotted/damaged, repair/replace as needed on attic window. Weep holes not present at bottom of storm windows. Storms and screens were generally reviewed from the exterior only. Storms and screens were not operated.

Exterior

Foundation

Foundation Wall ☒ Concrete block

Condition ☒ Satisfactory

Comments Foundation (stem) wall contains typical cracks.

Service Entry

☒ Overhead Condition: ☒ Satisfactory ☐ Marginal ☐ Poor

Exterior receptacles ☒ No

GFCI present ☒ No

Comments Exposed wires running from home to garage recommend repair by a qualified electrician potential safety hazard.
Could not verify if light on northside of exterior of home worked.

Building(s) Exterior Wall Construction

Type ☒ Not Visible

Condition ☒ Not Visible

Comments Building structure not visible due to siding, not evaluated.

Exterior Doors

Main Entrance Weatherstripping: ☒ Satisfactory ☐ Marginal ☐ Poor ☐ Missing ☐ Replace

Door condition: ☐ Satisfactory ☒ Marginal ☐ Poor

Side door Weatherstripping: ☒ Satisfactory ☐ Marginal ☐ Poor ☐ Missing ☐ Replace

Door condition: ☒ Satisfactory ☐ Marginal ☐ Poor

Comments Small crack on front door , door still usable repair as needed.

Exterior A/C - Heat pump #1

Unit #1 Location: Exterior North Brand: Goodman Model #: GSC130241DA Serial #: 0906746741

Approximate Age: 5-8 Years

Condition ☒ Satisfactory

Energy source ☒ Electric

Unit type ☒ Air cooled

Outside Disconnect ☒ Yes Maximum fuse/breaker rating (amps): 15 Fuses/Breakers installed (amps): 15

Level ☒ Yes

Condenser Fins ☒ Satisfactory

Improper Clearance (air flow) ☒ No

Comments Damaged/Missing insulation on refrigerant line recommend replacing

Exterior Photos



Exposed wires recommend repair by a qualified electrician.

Garage/Carport

Type

☒ Detached ☒ 1-Car

Automatic Opener

☒ Yes ☒ Operable

Safety Reverse

☒ Not tested

Comments

Safety reverse could not be tested do to damage to the door.

Roofing

Material ☒ Same as house

Gutters/Eavestrough

Condition ☒ None

Siding

Material ☒ Same as house

Condition ☒ Marginal ☒ Recommend repair/replace ☒ Recommend painting

Comments Siding had some damage and was in need of repairs. Recommend trimming trees and keeping soil 6-8" away from siding

Trim

Material ☒ Same as house

Condition ☒ Marginal ☒ Recommend repair/replace ☒ Recommend painting

Comments Trim had some damage and was in need of repairs.

Floor

Material ☒ Concrete

Condition ☒ Satisfactory ☒ Typical cracks

Sill Plates

☒ Floor level

Overhead Door(s)

Material ☒ Wood

Condition ☒ Poor ☒ Safety Cable Recommended

Recommend Priming/Painting Inside & Edges ☒ Yes

Comments Garage door was damaged and in poor condition recommend repair / replacement.

Electrical Receptacles

Reverse polarity ☒ No

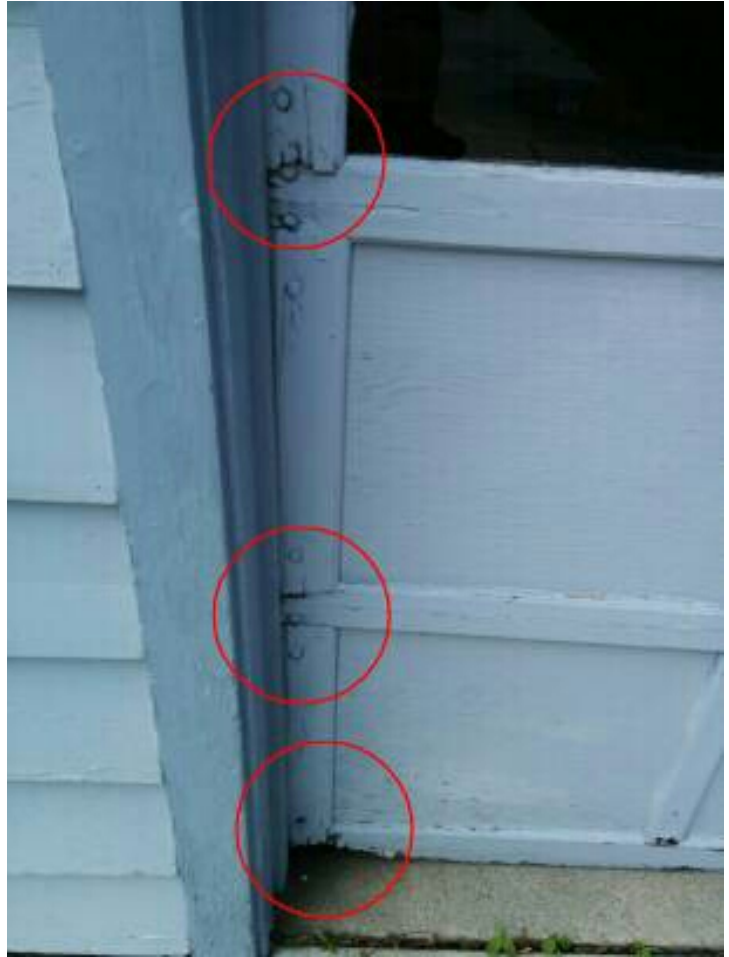
Open ground ☒ No

GFCI Present ☒ No ☒ Recommend GFCI Receptacles

Garage/Carport Photos



Areas of siding on garage are damaged recommend repair/replacing damaged areas as needed.



Overhead door damaged recommend repair/replacement

Kitchen

Countertops

☒ Satisfactory

Cabinets

☒ Satisfactory

Plumbing

Faucet Leaks ☒ No

Pipes leak/corroded ☒ No

Sink/Faucet ☒ Satisfactory

Functional drainage ☒ Satisfactory

Functional flow ☒ Satisfactory

Walls & Ceiling

Condition ☒ Satisfactory

Heating/Cooling Source

☒ Yes

Floor

Condition ☒ Satisfactory

Appliances

Disposal Operable: ☒ Yes ☐ No

Oven Operable: ☒ Yes ☐ No

Range Operable: ☒ Yes ☐ No

Dishwasher Operable: ☒ Yes ☐ No

Exhaust fan Operable: ☒ Yes ☐ No

Refrigerator Operable: ☒ Yes ☐ No

Dishwasher airgap ☒ Yes

Receptacles present ☒ Yes Operable: ☒ Yes ☐ No

GFCI ☒ No Recommend GFCI Receptacles: ☒ Yes ☐ No

Open ground/Reverse polarity: ☒ No

Comments Loose receptacle near fridge recommend securing.

Laundry Room

Laundry

Laundry sink

Faucet leaks ☒ No

Pipes leak ☒ No

Cross connections ☒ No

Heat source present ☒ Yes

Room vented ☒ Yes

Dryer vented ☒ Wall

Electrical Open ground/reverse polarity: ☐ Yes ☒ No

GFCI present ☒ No ☒ Recommend GFCI Receptacles

Appliances ☒ Washer ☒ Dryer

Washer hook-up lines/valves ☒ Satisfactory

Gas shut-off valve ☒ N/A

Bathroom

Bath

Location First floor
Sinks Faucet leaks: ☐ Yes ☒ No Pipes leak: ☒ Yes ☐ No
Tubs Faucet leaks: ☐ Yes ☒ No Pipes leak: ☐ Yes ☒ No ☐ Not Visible
Showers Faucet leaks: ☐ Yes ☒ No Pipes leak: ☐ Yes ☒ No ☐ Not Visible
Toilet Bowl loose: ☐ Yes ☒ No Operable: ☒ Yes ☐ No
Shower/Tub area ☒ Fiberglass Condition: ☐ Satisfactory ☒ Marginal ☐ Poor ☐ Rooted floors
 Caulk/Grouting needed: ☒ Yes ☐ No **Where: Inside of tub and where tub meets floor**
Drainage ☒ Satisfactory
Water flow ☒ Satisfactory
Moisture stains present ☒ No
Doors ☒ Satisfactory
Window ☒ Marginal
Receptacles present ☒ Yes Operable: ☒ Yes ☐ No
GFCI ☒ Yes Operable: ☒ Yes ☐ No
Open ground/Reverse polarity ☒ No
Heat source present ☒ Yes
Exhaust fan ☒ Yes Operable: ☐ Yes ☒ No
Comments GFCI loose near vanity recommend repair. Window did not open with normal pressure repair as needed. Toilet was slow to flush repair as needed. Pipes are leaking - recommend repair and/or replacement as necessary. Caulk or grouting needed in tub area.

Living Room

Room	
	Location: South Type: LIVING ROOM
Walls & Ceiling	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Typical cracks
Moisture stains	<input checked="" type="checkbox"/> No
Floor	<input checked="" type="checkbox"/> Satisfactory
Ceiling fan	<input checked="" type="checkbox"/> None
Electrical	Operable: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Switches: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Receptacles: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Open ground/Reverse polarity: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Heating source present	<input checked="" type="checkbox"/> Yes
Doors	<input checked="" type="checkbox"/> Satisfactory
Windows	<input checked="" type="checkbox"/> Marginal
Comments	Some windows were difficult to open adjust as needed. Recommend properly sealing area where air conditioner use to be.

Master Bedroom

Room	
	Location: First floor Type: MASTER BEDROOM
Walls & Ceiling	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Typical cracks
Moisture stains	<input checked="" type="checkbox"/> No
Floor	<input checked="" type="checkbox"/> Satisfactory
Ceiling fan	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Noisy
Electrical	Operable: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Switches: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Receptacles: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Open ground/Reverse polarity: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Heating source present	<input checked="" type="checkbox"/> Yes
Bedroom Egress restricted	<input checked="" type="checkbox"/> No
Doors	<input checked="" type="checkbox"/> Satisfactory
Windows	<input checked="" type="checkbox"/> Satisfactory
Comments	Recommend installing cover on closet lights

Bedroom

Room

Location: NW Type: BEDROOM

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ Yes Where: Ceiling

Floor ☒ Satisfactory

Ceiling fan ☒ Satisfactory

Electrical Operable: ☒ Yes ☐ No Switches: ☒ Yes ☐ No ☒ Operable Receptacles: ☒ Yes ☐ No ☒ Operable
Open ground/Reverse polarity: ☐ Yes ☒ No

Heating source present ☒ Yes

Bedroom Egress restricted ☒ No

Doors ☒ Satisfactory

Windows ☒ Satisfactory

Bedroom

Room	
Location: E Type: BEDROOM	
Walls & Ceiling	<input checked="" type="checkbox"/> Satisfactory
Moisture stains	<input checked="" type="checkbox"/> No
Floor	<input checked="" type="checkbox"/> Satisfactory
Ceiling fan	<input checked="" type="checkbox"/> Satisfactory
Electrical	Operable: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Switches: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Receptacles: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Open ground/Reverse polarity: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Bedroom Egress restricted	<input checked="" type="checkbox"/> No
Doors	<input checked="" type="checkbox"/> Satisfactory
Windows	<input checked="" type="checkbox"/> Marginal
Comments	Windows difficult to open recommend repair/adjusting as needed. Recommend properly sealing area where air conditioner use to be.

Interior

Smoke/Carbon Monoxide detectors

Smoke Detector ☒ Present Operable: ☒ Yes ☐ No ☐ Not tested ☐ Recommend additional

CO Detector ☒ Non Present Operable: ☐ Yes ☐ No ☐ Not tested ☒ Recommend additional

Comments Recommend adding additional smoke detectors and carbon monoxide detectors throughout home.

Attic/Structure/Framing/Insulation

Access ☒ Scuttlehole/Hatch

Inspected from ☒ In the attic

Location ☒ Bedroom Hall

Flooring ☒ None

Insulation ☒ Fiberglass ☒ Batts ☒ Loose ☒ Other Depth: 6-9"

Installed in ☒ Between ceiling joists ☒ Recommend additional insulation

Vapor barriers ☒ Not Visible

Ventilation ☒ Recommend additional ventilation

Fans exhausted to Attic: ☒ Yes ☐ No ☒ Recommend repair

Chimney chase ☒ Satisfactory

Structural problems observed ☒ No

Roof structure ☒ Trusses ☒ Metal

Ceiling joists ☒ Metal

Sheathing ☒ Planking ☒ Stained

Evidence of condensation ☒ No

Evidence of moisture ☒ Yes

Evidence of leaking ☒ Yes

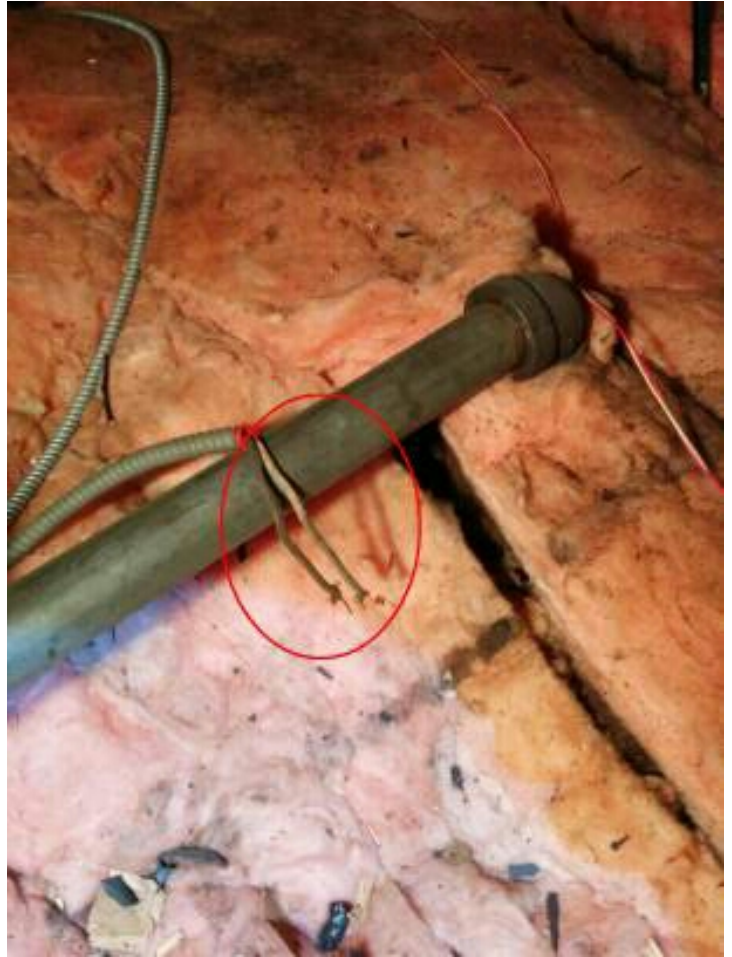
Electrical ☒ Exposed wires

Comments Recommend properly venting bathroom and kitchen exhaust to exterior. Exposed wires recommend a qualified electrician properly terminate in junction box. Old stains on wood no apparent leaking at time of inspection.

Interior Photos



Recommend exhausting to exterior



Exposed wires recommend terminating in junction box

Basement

Stairs

Condition ☒ Satisfactory ☒ Typical wear and tear
Handrail ☒ Yes Condition: ☒ Satisfactory ☐ Loose
Headway over stairs ☒ Low clearance

Foundation

Condition ☒ Satisfactory
Material ☒ Concrete block
Step cracks ☒ East
Movement apparent ☒ East
Indication of moisture ☒ Yes ☒ Old stains
Comments Foundation had some typical minor cracks. Recommend monitoring the cracks for future movement. Some of the foundation walls were covered with paneling/drywall and were not visible.

Floor

Material ☒ Concrete
Condition ☒ Satisfactory ☒ Typical cracks

Drainage

Sump pump ☒ No
Floor drains ☒ Yes ☒ Drains not tested

Girders/Beams

Condition ☒ Satisfactory
Material ☒ Steel

Columns

Condition ☒ Satisfactory
Material ☒ Steel

Joists

Condition ☒ Satisfactory
Material ☒ Steel ☒ Truss

Subfloor

Comments ☒ Indication of moisture stains/rotting
 Area around shower stalls have old moisture stains present. Area around toilets have old moisture stains present. Area under the kitchen sink has old moisture stains present.

Plumbing

Water service

Main shut-off location: Basement

Water entry piping ☒ Lead

Lead other than solder joints ☒ Unknown

Visible water distribution piping ☒ Copper ☒ Galvanized ☒ CPVC Plastic

Condition ☒ Satisfactory

Flow ☒ Satisfactory

Pipes Supply/Drain ☒ Corroded ☒ Leaking ☒ Dissimilar metal Cross connection: ☐ Yes ☒ No ☐ Safety Hazard

Drain/Waste/Vent pipe ☒ Cast iron

Condition ☒ Marginal

Support/Insulation Type: Metal

Traps proper P-Type ☒ No ☒ P-traps recommended

Drainage ☒ Satisfactory

Fuel line ☒ Galvanized ☒ Black iron

Condition ☒ Satisfactory

Comments Leak on drain from bathroom sink recommend repair

Main fuel shut-off location

On the side exterior wall

Water heater #1

Brand Name: Richmond Serial #: RMLN1106406667 Capacity: 40 Gallons Approx. age: 8

Type ☒ Gas

Combustion air venting present ☒ Yes

Seismic restraints needed ☒ No

Relief valve ☒ Yes Extension proper: ☒ Yes ☐ No ☐ Missing ☐ Recommend repair ☐ Improper material

Vent pipe ☒ Satisfactory ☒ Pitch proper

Condition ☒ Satisfactory

Heating System

Heating system

Unit #1 Brand name: Goodman Approx. age: 6 years Model #: GMH950703BXAC Serial #: 0908093106

Energy source ☒ Gas

Warm air system ☒ Direct drive ☒ Central system

Heat exchanger ☒ Sealed ☒ Not Visible

Combustion air venting present ☒ Yes

Controls Disconnect: ☒ Yes ☐ No ☒ Normal operating and safety controls observed

Distribution ☒ Metal duct

Flue piping ☒ Satisfactory

Filter ☒ Standard ☒ Satisfactory

When turned on by thermostat ☒ Fired Proper operation: ☒ Yes ☐ No ☐ Not tested

#1 - System condition ☒ Satisfactory

Electric/Cooling System

Main panel

Location: Basement

Condition ☒ Satisfactory

Adequate Clearance to Panel ☒ Yes

Amperage/Voltage ☒ 100a ☒ 120v/240v

Breakers/Fuses ☒ Breakers

Appears grounded ☒ Yes

GFCI breaker ☒ No

AFCI breaker ☒ No

Main wire ☒ Copper Condition: ☒ Satisfactory ☐ Marginal ☐ Poor

Branch wire ☒ Copper ☒ Copper clad aluminum

Branch wire condition ☒ Satisfactory ☒ Romex ☒ Conduit ☒ Double tapping

A/C Unit

☒ Central system Brand Name: Goodman Location: Basement Age: 6 years Serial #: GMH950703BXAC

Evaporator coil ☒ Not Visible

Refrigerant lines ☒ Satisfactory

Condensate line/drain ☒ Floor drain

Condition ☒ Satisfactory